

ORDINANCE NO. _____ (NEW SERIES)

**AN ORDINANCE AMENDING THE SAN DIEGO COUNTY ZONING ORDINANCE TO
STREAMLINE THE COMMUNITY DESIGN REVIEW PROCEDURE AND TO UPDATE AND
CLARIFY THE EXISTING PARKING REGULATIONS**

The Board of Supervisors of the County of San Diego ordains as follows:

Section 1. The Board of Supervisors finds and determines that the following amendments will provide a necessary update to the Zoning Ordinance. Changes are being proposed in order to implement a new streamlined procedure for Community Design Review and to update and clarify existing parking regulations to ensure consistency with the new procedure.

Section 2. Section 5750 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

5750 TITLE AND PURPOSE.

The provisions of Section 5750 through Section 5799, inclusive, shall be known as the Community Design Review Area Regulations. The purpose of design review is to evaluate site planning, architecture, landscape design, signage and lighting to ensure that new development is compatible with surrounding development and community goals. These regulations provide for the maintenance and enhancement of a Community's individual character and identity.

Section 3. Section 5754 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

5754 DESIGNATED AREA.

An area that has been identified by the application of a Community Design Review Area Designator shall be known as a designated area for the purposes of these regulations. Designated areas shall be subject to the Community Design Review Area Regulations of Section 5750 through 5799 inclusive. In addition, property subject to the Village 1 (V1), Village 2 (V2), Village 3 (V3), Village 4 (V4), or Village 5 (V5) Zones in the community of Fallbrook shall be subject to these regulations, to the Fallbrook Design Guidelines, and to the Fallbrook Design Review Checklist.

Section 4. Section 5756 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

5756 SITE PLAN PERMIT REQUIRED.

No building permit or discretionary approval pursuant to this ordinance shall be issued, nor shall any person construct or alter a building, structure, or parking area, nor shall any outdoor commercial or industrial use be established, on land subject to the Community Design Review Area Regulations until a plot plan which conforms to the criteria established pursuant to these regulations has been submitted and approved in accordance with the Site Plan Permit Review Procedure commencing at Section 7150. A Site Plan Permit is not required for any of the following:

- a. Alterations to the interior of a structure which are not visible from the outside.
- b. Zone Reclassifications, subdivisions of land, or other discretionary approvals not involving the design of buildings or structures, except that subdivisions in the I-15 Scenic Corridor shall not be exempt.
- c. Electrical, gas or other utility improvements where no associated discretionary permits are required, provided that any visible portion of such improvement does not exceed 24 inches in any dimension. The Director may require the applicant to submit an affidavit stating that the proposed utility improvement will not serve a use other than those uses presently occurring legally on the site.
- d. Temporary improvements associated with construction activities authorized by building permit. Said improvements shall include, but not be limited to, trailers, fences, and signs which do not require discretionary approval by other applicable sections of the Zoning Ordinance.
- e. Signs exempt from the Zoning Ordinance pursuant to Section 6203.
- f. Temporary special purpose off premise signs pursuant to Section 6207.
- g. Any use or development type which according to the applicable design guidelines is not subject to design review pursuant to the Community Design Review Area Regulations.
- h. A grading permit pursuant to the Grading Ordinance, except in the I-15 Scenic Corridor.
- i. The following types of projects which the Director determines comply with the applicable community design program objectives and design guidelines:
 - 1. New on-premise signs, except in the I-15 Scenic Corridor, if existing on-premise signs which are under the control of the person requesting the exemption are also in full compliance with applicable Design Guidelines. The Director may require sufficient evidence in the form of drawings, photographs and/or other graphic exhibits.
 - 2. Replacement, repair or minor modifications to exterior wall or roof finish materials on existing structures.
- j. Exterior alteration or new construction not otherwise exempt under this section, which is not visible from any street, excluding alleys, provided the total lot coverage is not increased to more than 75 percent of the net lot area. Eliminating said visibility through screening techniques such as landscape, walls, fences or grading shall not qualify such exterior alterations or new construction for this exemption. The Director shall determine if a project meets this exemption standard and may require any necessary information including drawings, photographs and/or other graphic exhibits.
- k. Small antennas (i.e., satellite earth station receiving antennas or similar antennas for video programming and television signals) exempted by Federal Communications Commission rules from local design review regulations. This exemption applies to antennas that are one meter (39 inches) or less in diameter or diagonal measurement.

Such antennas mounted on masts exceeding 12 feet in height are not included in this exemption.

- I. Certified Farmers' Market pursuant to section 6122.

Any decision by the Director to exempt a project pursuant to this section shall be final.

Section 5. Section 5757 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

5757 SITE PLAN PERMIT EXEMPTIONS - COMMUNITY DESIGN REVIEW.

- a. An exemption from the Site Plan Permit requirement of Section 5756 may be granted by the Director under any of the following circumstances:
 - 1. Existing Permit Exemption. All of the purposes and requirements of the Site Plan Permit process have been fulfilled by an existing approved discretionary permit.
 - 2. Concurrent Permit Exemption. All of the purposes and requirements of the Site Plan Permit process will be fulfilled by a concurrent discretionary permit which will be reviewed by the applicable Community Design Review Board.
 - 3. Minor Project Exemption. The Director determines that a proposed project is minor in nature, as defined in Section 7156(b) and that subjecting it to the Site Plan Permit review process would not materially contribute to the attainment of the community design objectives and guidelines as set forth in the applicable Design Guidelines. The applicable Community Design Review Board may recommend to the Director whether to grant a minor project exemption. The recommendation shall be in writing, signed by the Chairperson or other member of the Review Board who has been authorized by the Review Board to sign Site Plan Permit exemption requests and shall be accompanied by a copy of the project plans upon which the recommendation was based.
 - 4. Design Review Checklist Exemption. The Director determines that the project complies with the objective standards set forth in the Design Review Checklist for the applicable community in which the project is located. The applicable Community Design Review Board may recommend to the Director whether to grant a Design Review Checklist Exemption. The recommendation shall be in writing, signed by the Chairperson or other authorized member of the Design Review Board and shall be accompanied by a copy of the Design Review Checklist and stamped project plans on which the recommendation was based.
- b. A request for a Site Plan Permit Exemption based on compliance with subsections 5757(a)(3) or 5757(a)(4) shall be transmitted by the Director to the applicable Community Design Review Board using forms approved by the Director for that purpose. If no recommendation is received by the Director from the Review Board within 45 days following the Review Board's receipt of the request, the Director may make a decision without the Review Board's recommendation.
- c. Notwithstanding the above, the Review Board may recommend a Site Plan Permit Exemption of entire classes of projects, in which case the Director may exempt projects

within these classes without obtaining recommendations from the Review Board on each individual case.

- d. No building permit shall be issued for a project for which the Site Plan Permit Exemption has been granted pursuant to subsections 5757(a)(3) or 5757(a)(4) unless the project's plans bear the Director's stamp granting the exemption. No deviation from aspects of such plans pertinent to the Design Guidelines or the Design Review Checklist, such as materials, colors, architectural details, landscaping, and site design, shall be permitted without prior recommendation of the appropriate Design Review Board and approval of the Director.

Section 6. Section 5758 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

5758 CONTENT OF PLOT PLAN.

The plot plan shall include such textual descriptions and plans, sketches and drawings as are necessary to provide the information as required by the applicable Community Design Guidelines pursuant to Section 5799.

Section 7. Section 5760 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

5760 DEVELOPMENT STANDARDS AND REVIEW CRITERIA.

In addition to the development standards contained in the Zoning Ordinance and the County Code, the standards and criteria contained in the applicable Community Design Guidelines or Design Review Checklist shall apply to any project subject to the Community Design Review Area Regulations.

Section 8. Section 5761 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

5761 SPECIAL PARKING PROVISIONS WITHIN DESIGNATED SPECIAL PARKING DISTRICTS.

- a. Purpose and Intent.

The intent of this section is to encourage economic revitalization and the maintenance and enhancement of existing zero front yard setback development patterns in certain traditional downtown commercial districts as specified herein, consistent with certain Community Design Guidelines adopted pursuant to the Community Design Review Area Regulations. To achieve this purpose, the design, location and number of automobile, bicycle and loading spaces within these districts may be determined on a case-by-case basis.

- b. Special Parking Districts Designated.

The following described areas are hereby designated as Special Parking Districts:

1. Parcels with frontage on Main Avenue in Fallbrook, from Mission Road to Elder Street; properties with frontage on Mission Road from Main Avenue to Iowa Street; and Assessor Parcel Number 103-132-06, as said parcel was identified

on the County Assessor's maps on June 17, 1994 and any other parcel located in Fallbrook Village Zone 1 or Fallbrook Village Zone 2.

2. Parcels with frontage on Maine Avenue in Lakeside from Maplevue Street to Los Coches Road.
3. Parcels with frontage on Main Street/Highway 67 in Ramona, from Tenth Street to Third Street; and Assessor Parcel Numbers 281-251-01, 281-263-03, 281-444-02, and 281-443-15, as said parcels were identified on the County Assessor's maps on June 17, 1994.

c. **Parking Requirements Within Special Parking Districts.**

Parking requirements for structures or uses located within a Special Parking District may be established in accordance with a Site Plan Permit approved pursuant to these regulations and the applicable Design Guidelines, provided the following conditions are met:

1. The project will not result in any driveway intersecting with the frontage street if the building site has public vehicular access available from an alley or side street, except that an existing driveway may be retained in the following situations: (1) where a structure is involuntarily damaged or destroyed and is reconstructed, repaired, or rebuilt in accordance with the Zoning Ordinance, or (2) where an existing structure is expanded or renovated in accordance with the Zoning Ordinance. If the building site has no public vehicular access available from an alley or side street, any proposed driveway shall be of minimum permitted width and serve on-site parking and/or loading at the rear of the lot or at such other location as may be approved in accordance with these regulations and the applicable Design Guidelines.
2. The number of spaces shall be determined in consideration of the parking generation characteristics of the proposed use and the physical limitations of the site. The number of spaces shall be as close as possible to the number which would be required if the Special Parking District did not exist, except that for buildings constructed pursuant to a building permit issued after June 17, 1994, the number of spaces shall not be reduced to less than 75 percent of the number which would be required if the Special Parking District did not exist.
3. Notwithstanding any other provision of this section, if a structure in a Special Parking District is damaged or destroyed, any nonconformity as to the applicable off-street parking for said structure may be resumed if the structure is reconstructed, repaired or rebuilt in accordance with the applicable Community Design Guidelines and all other applicable requirements. See also Section 6867.

Section 9. Section 5762 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

5762 **CONCURRENT REVIEW.**

The Site Plan Permit required by Section 5756 shall be submitted and reviewed concurrently with an application for a Tentative Map, Tentative Parcel Map, Major or Minor Use Permit or Zone Reclassification. Site Plans Permits and any concurrent applications shall be referred to

the appropriate design review board pursuant to Section 5764. The officer or body having jurisdiction over the concurrent application shall also have jurisdiction over the initial adoption of the related Site Plan Permit.

Section 10. Section 5764 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

5764 REVIEW JURISDICTION.

Site Plan Permits concerning property within a designated area shall be referred to the appropriate Community Design Review Board pursuant to Section 7157 or in areas where no such board exists, the Director may consider the input of the applicable Community Planning or Sponsor Group.

Section 11. Section 5799 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

5799 COMMUNITY DESIGN REVIEW AREAS.

- a. **Applicability.** The requirements of Section 5750 through 5799, inclusive, apply to the areas that are designated Design Review Areas (Special Area Designator "B"), and to that property within the community of Fallbrook to which the Village 1 (V1), Village 2 (V2), Village 3 (V3), Village 4 (V4), or Village 5 (V5) Zone has been applied. (see Section 8000)
- b. **Design Criteria.** Site Plan Permits and concurrent applications shall conform to criteria set forth in the applicable Design Guidelines approved by the Board of Supervisors. In addition, a Design Review Checklist shall be established by the Board of Supervisors for each community that has Design Guidelines. The Design Review Checklist shall be based on the Design Guidelines applicable to the community and shall consist of objective standards that assure project compliance with the Design Guidelines.
- c. **Design Review Boards.** Plot plans concerning property within designated Design Review Areas shall be referred to the applicable Community Design Review Board for a recommendation if such a board exists for the area. The Design Review Board may advise the Director as to the plot plan's conformance with the Community Design Guidelines in the case of a Site Plan Permit or with the Community Design Review Checklist in the case of a Design Review Checklist Exemption. The Review Board's evaluation shall be limited to the applicable Design Guidelines or standards set forth in the Design Review Checklist, and the Review Board shall cite the specific guidelines or standards in instances where a project may be inconsistent with the adopted Design Guidelines or Design Review Checklist. The Director may consider the input of the applicable Planning or Sponsor Group in areas where no Design Review Board exists.

Section 12. Section 6750 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6750 TITLE AND PURPOSE.

Section 6750 through 6799, inclusive, shall be known as the County Parking Regulations. The purpose of these regulations is to provide functional, safe and aesthetically pleasing off-street parking and loading facilities for vehicles and bicycles for each type of land use. The spaces

provided are required for use by the employees, tenants, customers and guests of the establishment providing the parking facilities.

Section 13. Section 6753 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6753 GENERAL PARKING REQUIREMENTS.

a. New Uses and Structures

A new use and/or structure shall provide the minimum number of parking and bicycle spaces specified in the Parking Schedules of the County Parking Regulations.

b. Existing Uses and Structures

A previously permitted existing use and/or structure shall not be altered so as to provide less than the minimum number of parking or bicycle spaces required by the County Parking Regulations for that use and/or structure.

c. Conversion, Alterations or Expansion of an Existing Use or Structure

A previously permitted existing use and/or structure that is converted, altered or expanded shall provide additional parking spaces to accommodate the increase in capacity and/or intensity. This additional parking shall be provided unless the existing parking meets the parking requirements of the County Parking Regulations for the entire use and/or structure.

d. Availability

Parking and Loading spaces shall be marked, maintained, and permanently available for the use they are intended to serve. Owners, lessees, tenants, or persons having control of the parking or loading spaces shall not prevent, prohibit or restrict the use of parking and loading spaces.

e. Usage

Required parking and loading areas shall be used exclusively for the parking and loading of vehicles and shall not be used for the sale, lease, display, repair, or storage of vehicles, trailers, boats, campers, mobile homes, merchandise or equipment without a required County permit or approval, except where allowed by County Parking Regulations.

f. Exceptions

Notwithstanding the general parking requirements set forth in subsections a. and c. above, parking requirements for uses conducted pursuant to a use permit, Historic District Site Plan, or community design review Site Plan in a Special Parking District, shall be determined in accordance with Sections 6782 and/or 6783. In communities with Village Zoning, such as Fallbrook, parking requirements shall be determined in accordance with the Parking Regulations for each zone. (See Section 8000 et seq. of the Zoning Ordinance).

Section 14. Section 6754 is hereby added to the San Diego County Zoning Ordinance to read as follows:

6754 **ADDITIONAL PARKING REQUIREMENTS FOR ACCESSORY AND SPECIAL USES.**

Parking standards for the following accessory and special uses shall be required as specified in the following sections of the Zoning Ordinance:

Section 6156:	Second Dwelling Units Family Day Care Home for Children, Large (9-14 Children) Bed & Breakfast Home Host Home Agricultural Homestay
Section 6370:	Senior Projects and Density Bonus Projects
Section 6910:	Wineries
Section 6911:	Emergency Shelters
Section 6912:	Community Gardens
Section 6970:	Recycle Facilities

Parking standards for accessory uses not listed above shall be in addition to the parking requirements for the primary use, and determined according to the Parking Schedule of the County Parking Regulations.

Section 15. Section 6755 is hereby added to the San Diego County Zoning Ordinance to read as follows:

6755 **ACCESSIBLE PARKING REQUIREMENTS.**

The Americans with Disabilities Act (ADA) governs the construction and alteration of public places, commercial facilities, and state and local government facilities to accommodate and provide adequate facilities for persons with disabilities. Accessible parking requirements shall adhere to the requirements under the California Code of Regulations (Title 24) of the California Building Code (Chapter 11B) for Accessible Parking standards.

Section 16. Section 6756 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6756 **COMPUTATION OF REQUIRED PARKING AND BICYCLE SPACES.**

- a. Separate Uses. The off-street parking spaces required for 2 or more uses on the same lot or parcel shall be the sum of the spaces required for each use or structure computed separately. A reduction in required parking may be requested in accordance with Section 6784.
- b. For purposes of computing required parking spaces, the following terms shall apply:
 1. Bedrooms. Where the number of bedrooms is specified as the means for calculating required residential parking spaces, dens, studies, studios, libraries, recreation

rooms, sewing rooms, hobby rooms, work rooms or similar rooms shall be considered as bedrooms if they contain at least 70 square feet of floor area.

2. Gross Floor Area (GFA) shall be determined by the total area expressed in square feet of all floors measured between the exterior walls of a building.
3. Employees. Where number of employees is specified as the means of calculating required parking spaces, the employees counted are those who work on the premises during the largest work shift during the peak employment season.
4. Occupancy. Where the maximum number of persons or seating capacity is specified as the means of calculating required parking spaces, the maximum occupancy shall be that permitted for the use or structure by the County Building Code.

Section 17. Section 6757 is hereby added to the San Diego County Zoning Ordinance to read as follows:

6757 OFF-STREET PARKING REGULATIONS BY MAJOR LAND USE CATEGORY

Sections 6758 through 6783 categorize the off-street parking regulations by major land use category. The County of San Diego classifies land uses within the following broad categories:

Section	Land Use Category	Description
6758	Residential	Property used by individuals and families for private residences or dwellings.
6760	Transient Habitation	Temporary or short-term lodging services. May include a hotel, motel, cabin, or campground.
6762	Commercial	Uses intended for retail, wholesale, office, or services.
6764	Civic	Uses that serve the community at large, including public spaces and structures that provides direct or indirect services to the public.
6772	Industrial and Storage	Uses intended for manufacturing or storage facilities.
6778	Agricultural	Land used for the growing of agriculture.
6780	Other Occupancies and Uses	Uses not included in the land use categories within Sections 6758 through 6783.
6782	Use Permits and Historic District Site Plans	Uses conducted pursuant to a use permit or to a Historic District Site Plan.
6783	Special Parking Districts	Uses conducted within a Special Parking District as designated in Section 5761.

Section 18. Section 6758 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

SCHEDULE OF OFF-STREET PARKING REQUIREMENTS

6758 PARKING REQUIREMENTS: RESIDENTIAL

Type of Occupancy Use or Structure	Off-Street Parking
Single Family Detached, Semi-Detached/Attached, Duplex Recreation Center in Planned Developments Bicycle Parking	The Sum of the Following: 2 Parking spaces per dwelling unit 0.1 Parking space per dwelling unit None Required
Multi-Dwellings (3 units or more on a single lot) Studio, 1 and 2 Bedroom 3 or More Bedrooms Guest Parking ¹ Recreation Center (> 1,000 sq.ft.) Bicycle Parking	The Sum of the Following: 1.5 Parking spaces per dwelling unit 2 Parking spaces per dwelling unit 0.2 Parking space per dwelling unit 0.1 Parking space per dwelling unit 0.5 space per dwelling unit
Mobile Home Residential Mobile Home Dwelling Unit Guest Parking ¹ Recreation Center (> 1,000 sq.ft.) Bicycle Parking	The Sum of the Following: 2 Parking spaces per dwelling unit 0.2 Parking space per dwelling unit 0.1 Parking space per dwelling unit None Required
Group Residential Boarding Houses (permanent), Fraternity/Sorority Houses, Dormitories, Student Housing, Convents/Monasteries Bicycle Parking	0.75 Parking space per person <i>(Based on the total occupancy permitted by the County Building Code)</i> None Required
Multiple-Unit Housing for Senior Citizens Dwelling Unit/ Bedroom Guest Parking Bicycle Parking	The Sum of the Following: 1.5 Parking spaces per dwelling unit/bedroom 0.2 Parking space per dwelling unit/bedroom None Required
Residential Care Facilities Employee Parking Guest Parking Bicycle Parking	The Sum of the Following: 1 Parking space per employee <i>(Largest work shift)</i> 0.33 Parking space per bedroom None Required

¹ Up to one-third of the required guest parking may be met by on-street parking on an abutting public or private street, provided that the street is improved to County standards with provision for on-street parking.

Section 19. Section 6760 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6760 PARKING REQUIREMENTS: **TRANSIENT HABITATION**

Type of Occupancy Use or Structure	Off-Street Parking
Campground, RV Parks <div>Bicycle Parking</div>	1 Parking space per campsite or RV None Required
Lodging Hotels, Motels, Resorts, and Spas <div>Bicycle Parking</div>	1 Parking space per guest room None Required
Boarding Houses (Transient) <div>Bicycle Parking</div>	1 Parking space per habitation room None Required

Section 20. Section 6762 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6762 PARKING REQUIREMENTS: **COMMERCIAL**

Type of Occupancy Use or Structure	Off-Street Parking
PERSONAL SERVICES	
Commercial Office <div>Bicycle Parking</div>	4 Parking spaces per KSF GFA 0.1 Bike space per car space but not less than 3
Financial Institution Bank, Savings and Loan (including banks with and without drive-through teller or ATM service) Drive-Through Vehicle Stacking Provision <div>Bicycle Parking</div>	4 Parking spaces per KSF GFA 3 Vehicles (60 feet) min. per teller/ATM lane 0.1 Bike space per car space but not less than 3

Eating and Drinking Establishment Excluding Stand-Alone Fast-Food Up to 3,000 Square Feet More than 3,000 Square Feet Bicycle Parking	The Greater Of: 6 Parking spaces per KSF GFA OR 0.2 Parking spaces per person <i>(Based on capacity of fixed or movable seating as permitted by the County Building Code)</i> The Greater Of: 10 Parking spaces per KSF GFA OR 0.33 Parking spaces per person <i>(Based on capacity of fixed or movable seating as permitted by the County Building Code)</i> 0.1 Bike space per car space but not less than 3
Stand-Alone Fast-Food Restaurant With Drive-Through Window Drive-Through Vehicle Stacking Provision Bicycle Parking	12 Parking spaces per KSF GFA 9.5 Parking spaces per KSF GFA 4 Vehicles (80 feet) minimum from the menu board 0.1 Bike space per car space but not less than 3
Laundromat Bicycle Parking	0.33 Parking spaces per washing machine 3 spaces minimum
Dry Cleaner Bicycle Parking	3.3 Parking spaces per KSF GFA None Required
Barber Shop or Hair Salon Bicycle Parking	2.5 Parking spaces per chair/station 3 spaces minimum
Funeral Parlor and Mortuary Bicycle Parking	The Sum of the Following: 0.25 Parking space per fixed seat 10 Parking space per KSF of non-fixed seating area in gathering room None Required
Post Office Annex Including Privately Owned P.O. Box and Package Receipt Centers Bicycle Parking	2.5 Parking spaces per KSF GFA 0.1 Bike space per car space but not less than 3

RETAIL	
Retail Sales and Services Includes Personal Services and Repair Services <i>Retail sales and services other than those specifically listed in this table</i> Bicycle Parking	4.5 Parking spaces per KSF GFA <i>(Total eating, drinking and entertainment uses cannot exceed 15% of project's GFA. Otherwise the floor area that exceeds 15% shall be calculated according to stand-alone eating and drinking establishment use parking requirements)</i> 0.1 Bike space per car space but not less than 3
Gasoline Station Without accessory retail sales and/or service Bicycle Parking With accessory retail sales and/or service Bicycle Parking	1 Parking space per employee but not less than 3 <i>(largest work shift)</i> None Required 4 Parking spaces per KSF GFA <i>(Parking requirement does not include spaces normally provided adjacent to gas pumps for fueling vehicles or service bays)</i> 0.1 Bike space per car space but not less than 3
Liquor Store Bicycle Parking	3.3 Parking spaces per KSF GFA None Required
Stand-Alone Discount Club Store Includes Wholesale Warehouse-type Stores Bicycle Parking	5.5 Parking spaces per KSF GFA 0.05 Bike space per car space but not less than 3
Stand-Alone Drugstore Bicycle Parking	2.5 Parking spaces per KSF GFA 0.1 Bike space per car space but not less than 3
Stand-Alone Furniture and Appliance Sales Bicycle Parking	2 Parking spaces per KSF GFA 0.05 Bike space per car space but not less than 3
Stand-Alone Home Improvement Store Includes Building Materials and Lumber Stores Bicycle Parking	3.5 Parking spaces per KSF GFA <i>(Outdoor sales area shall be included in total GFA)</i> 0.05 Bike space per car space but not less than 3
Building Supply Yards Includes Lumber, Plant Nurseries, Brick, Stone, and Gravel Bicycle Parking	0.5 Parking spaces per KSF of display area None Required
Construction Sales, Service, and Rental Contractors office and outside service area Bicycle Parking	The Greater Of: 1.5 Parking spaces per employee <i>(largest work shift)</i> OR 3.3 Parking spaces per KSF GFA None Required

Automotive or Equipment Sales and Service Automotive Service Only Bicycle Parking	3.3	Parking spaces per KSF GFA
	3	Parking spaces per repair stall
	0.05	Bike space per car space but not less than 3
Automotive Rental Bicycle Parking	The Greater Of: 2.5 Parking spaces per employee <i>(largest work shift)</i> <i>(Plus 1 parking space per rental vehicle stored on-site)</i> OR 5 Parking spaces per KSF GFA <i>(Plus 1 parking space per rental vehicle stored on-site)</i>	
	0.05	Bike space per car space but not less than 3
	6.5	Parking spaces per KSF of Gross Selling Area
	0.1	Bike space per car space but not less than 3
SPORTS AND ENTERTAINMENT		
Participant Sports and Recreation (Indoor) Health Club, Gym, Video Arcade, Skating Rink, Billiard/Pool Hall, Multipurpose Recreational Facility (Other than those specifically listed in this table) Bicycle Parking	6	Parking spaces per KSF GFA
	0.1	Bike space per car space but not less than 3
Participant Sports and Recreation (Outdoor) As Required below for Specific Uses: Sports Courts (e.g. tennis, basketball, etc.) Ball Fields Group Picnic Areas Passive Useable Turf Areas for Informal Play Children's Play Area Swimming Pool Skate Park Boat Launch Ramp Bicycle Parking	The Sum of the Following that Apply:	
	3	Parking spaces per court
	20	Parking spaces per ball field
	1.5	Parking spaces per picnic table
	0.2	Parking space per KSF
	5	Parking spaces per KSF
	10	Parking spaces per KSF of water surface
	5	Parking spaces per KSF of skating area
	10	Parking spaces per ramp plus
	10	Parking spaces (10' wide x 45' long) for vehicles with boat trailers
	Individual sports and recreational uses shall include bicycle racks to accommodate a minimum of 5 bicycles	

Bowling Alley	6 Parking spaces per alley (Plus requirements for accessory uses)
Bicycle Parking	0.1 Bike space per car space but not less than 3
Driving Range	The Sum of the Following: 1 Parking space per tee plus 1 Parking space per employee but not less than 3 (Largest work shift) (Plus requirements for accessory uses)
Bicycle Parking	3 spaces minimum
Golf Course	6 Parking spaces per hole (Plus requirements for accessory uses)
Bicycle Parking	3 spaces minimum
Miniature Golf Course	3 Parking spaces per hole
Bicycle Parking	0.1 Bike space per car space but not less than 3
Tennis, Racquetball and Handball Facility	4 Parking spaces per court (Plus requirements for accessory uses)
Bicycle Parking	0.1 Bike space per car space but not less than 3
Spectator Sports and Entertainment Stadium, Sports Arena	0.25 Parking spaces per seat
Bicycle Parking	0.1 Bike space per car space but not less than 3
Live Theater and Movie Theater	0.35 Parking spaces per seat
Bicycle Parking	0.1 Bike space per car space but not less than 3
ANIMAL SERVICES	
Veterinarian Clinic or Hospital	The Sum of the Following: 2.5 Parking spaces per examination room 1 Parking space per employee/doctor but not less than 4 (Largest work shift)
Bicycle Parking	None Required
Commercial Equine Stable	0.2 Parking space per stall
Bicycle Parking	None Required
Commercial Kennel	2 Parking spaces per KSF GFA
Bicycle Parking	None Required

Note: KSF GFA: Thousand Square Feet of Gross Floor Area

Section 21. Section 6764 is hereby added to the San Diego County Zoning Ordinance to read as follows:

6764 PARKING REQUIREMENTS: **CIVIC**

Type of Occupancy Use or Structure	Off-Street Parking
Library, Museum, Art Gallery	3 Parking spaces per KSF GFA
Bicycle Parking	0.1 Bike space per car space but not less than 3
Community Center	3.5 Parking space per KSF GFA
Bicycle Parking	0.1 Bike space per car space but not less than 3
U.S. Post Office (Leased Land)	30 Parking spaces per KSF GFA
Bicycle Parking	0.1 Bike space per car space but not less than 3
Fire Station	The Sum of the Following:
	1 Parking space per employee (Largest work shift)
Guest Parking	3 Parking spaces (Plus additional on-site parking required for fire trucks/vans assigned to the station)
Bicycle Parking	3 spaces minimum
Police Station	The Sum of the Following:
	1 Parking space per employee (Largest work shift)
Guest Parking	3 Parking spaces (Plus additional on-site parking required for police station vehicle fleet including motorcycles)
Bicycle Parking	0.1 Bike space per car space but not less than 3
PUBLIC ASSEMBLY	
Religious Assembly Church, Synagogue, Temple, Mission	0.4 Parking space per person if fixed seating is provided (Based on total occupancy of the largest assembly room permitted by the County Building Code)
	OR
	40 Parking spaces per KSF in the largest assembly room if fixed seating is not provided (Plus requirements for accessory uses if such uses will be active at the same time as the largest assembly room)
Bicycle Parking	0.1 Bike space per car space but not less than 3

Park	Passive Uses Structured Active Uses (e.g. basketball, tennis, ball fields, etc.) Bicycle Parking	4 Parking spaces per acre 10 Parking spaces per acre Park uses shall include bicycle racks to accommodate a minimum of 5 bicycles
Conference Center / Auditorium	Bicycle Parking	0.25 Parking space per seat 0.1 Bike space per car space but not less than 3
Private Club	Lodge Hall, Union Hall Bicycle Parking	0.35 Parking space per person if fixed seating is provided <i>(Based on total occupancy of the largest assembly room permitted by the County Building Code)</i> OR 35 Parking spaces per KSF in the largest assembly room if fixed seating is not provided <i>(Plus requirements for accessory uses if such uses will be active at the same time as the largest assembly room)</i> 0.05 Bike space per car space but not less than 3
EDUCATIONAL INSTITUTIONS – PUBLIC AND PRIVATE		
Child Day-Care and Small Schools	Primary Use Day-Care Center and Pre-School Drop-Off Facilities Bicycle Parking	The Sum of the Following: 1 Parking space per employee plus 0.2 Parking space per child if drop-off and pick-up area is not provided OR 0.1 Parking space per child if adequate drop-off and pick-up area is provided as determined by the Director Drop-off facilities must be designed to accommodate a continuous flow of vehicles during peak periods and allowing for safe drop-off and pick-up of passengers. The adequacy of drop-off/pick-up facilities proposed shall be determined by the Director. 3 Bike spaces minimum

<p>Elementary School</p> <p>School Auditorium</p> <p>Drop-Off Facilities</p> <p>Bicycle Parking</p>	<p>The Sum of the Following:</p> <ul style="list-style-type: none"> 1 Parking space per employee 5 Parking spaces for visitors 0.2 Parking space per seat minus employee and visitor spaces provided above <p>Drop-off facilities must be designed to accommodate a continuous flow of vehicles during peak periods and allowing for safe drop-off and pick-up of passengers. The adequacy of drop-off/pick-up facilities proposed shall be determined by the Director.</p> <p>0.25 Bike space per student</p>
<p>Junior High School or Middle School</p> <p>School Auditorium</p> <p>Drop-Off Facilities</p> <p>Bicycle Parking</p>	<p>The Sum of the Following:</p> <ul style="list-style-type: none"> 1 Parking space per employee 10 Parking spaces for visitors 0.2 Parking space per seat minus employee and visitor spaces provided above <p>Drop-off facilities must be designed to accommodate a continuous flow of vehicles during peak periods and allowing for safe drop-off and pick-up of passengers. The adequacy of drop-off/pick-up facilities proposed shall be determined by the Director.</p> <p>0.2 Bike space per student</p>
<p>Senior High School</p> <p>Auditorium, Basketball Stadium, or Football Stadium <i>(whichever has the greatest occupancy)</i></p> <p>Bicycle Parking</p>	<p>The Sum of the Following:</p> <ul style="list-style-type: none"> 1 Parking space per employee 15 Parking spaces for visitors 0.25 Parking spaces per student 0.2 Parking space per seat minus employee, visitor, and student spaces provided above 0.1 Bike space per student
<p>College and University (Educational institutions beyond the 12th grade)</p> <p>Auditorium, Basketball Stadium, or Football Stadium <i>(whichever has the greatest occupancy)</i></p> <p>Bicycle Parking</p>	<p>The Sum of the Following:</p> <ul style="list-style-type: none"> 0.7 Parking spaces per faculty member/staff 0.3 Parking spaces per student 25 Parking spaces for visitors 0.2 Parking space per seat minus employee, visitor, and student spaces provided above 0.05 Bike space per student

Other Educational Institutions Including Private or Charitable Institutions Offering Instruction, Training, or Learning Opportunities <i>When located in a commercial center consisting of 10 KSF GFA or more and this use does not comprise more than 25% of the total GFA of the commercial center, this section does not apply. See Section 6762 Retail Sales and Services.</i> Bicycle Parking	1 Parking space per employee plus The Greater of the Following: 0.5 Parking space per student/trainee, OR 0.3 Parking space per KSF GFA 0.1 Bike space per student
MEDICAL CARE FACILITIES	
Hospital Acute, General Bicycle Parking	2.5 Parking spaces per bed 0.05 Bike space per car space but not less than 3
Medical Office Bicycle Parking	5 Parking spaces per KSF GFA 0.1 Bike space per car space but not less than 3
Other Medical Care Facilities Other Facilities Providing Overnight Medical Care (e.g. mental/psychiatric institutions, intermediate care homes, nursing homes, etc.) Bicycle Parking	0.33 Parking spaces per bed 0.05 Bike space per car space but not less than 3

Note: KSF GFA: Thousand Square Feet of Gross Floor Area

Section 22. Section 6766 of the San Diego County Zoning Ordinance is hereby repealed.

Section 23. Section 6770 of the San Diego County Zoning Ordinance is hereby repealed.

Section 24. Section 6772 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6772 **PARKING REQUIREMENTS: INDUSTRIAL, AND STORAGE**

Type of Occupancy Use or Structure	Off-Street Parking
Research and Development Bicycle Parking	3 Parking spaces per KSF GFA 0.1 Bike space per car space but not less than 3
General Manufacturing Including Uses Where the Primary Activity is the Conversion of Raw Materials or Parts into Finished Products Bicycle Parking	1.5 Parking spaces per KSF GFA (Office space cannot exceed 25% of total facility GFA. Requirement for excess office floor area shall be calculated according to stand-alone commercial office use parking requirements) 0.1 Bike space per car space but not less than 3

Type of Occupancy Use or Structure	Off-Street Parking
Light Manufacturing Including Printing, Material Testing, Light Assembly, etc. Bicycle Parking	1 Parking space per KSF GFA (Office space cannot exceed 25% of total facility GFA. Requirement for excess office floor area shall be calculated according to stand-alone commercial office use parking requirements) 0.1 Bike space per car space but not less than 3
Industrial Park Including a mix of Light Industrial, Manufacturing, Service, and Warehousing Bicycle Parking	2 Parking spaces per KSF GFA (Office space cannot exceed 25% of total facility GFA. Requirement for excess office floor area shall be calculated according to stand-alone commercial office use parking requirements) 0.1 Bike space per car space but not less than 3
Recycling Center Bicycle Parking	The Sum of the Following: 1 Parking space per employee but not less than 5 (Largest work shift) PLUS 0.33 Parking spaces per KSF site area 3 Bike spaces minimum
Salvage Yard Scrap Metal Processing, Motor Vehicle Dismantling, Junk Yard Bicycle Parking	0.2 Parking spaces per KSF None Required
Moving and Storage Business Bicycle Parking	0.5 Parking spaces per KSF GFA 3 spaces minimum
Self Storage / Mini Storage Warehouse Bicycle Parking	The Sum of the Following: 0.015 Parking space per storage unit, PLUS 2 Parking spaces for caretaker's dwelling, if applicable None Required
General Warehousing and Storage Bicycle Parking	The Sum of the Following: 1 Parking space per KSF GFA up to 20 KSF, PLUS 0.5 Parking spaces per KSF GFA over 20 KSF None Required

6772 PARKING REQUIREMENTS: **INDUSTRIAL, AND STORAGE**

Type of Occupancy Use or Structure	Off-Street Parking
Outdoor Storage Yard Contractor, General, Building Materials, Vehicles, Construction Equipment <div style="text-align: right;">Bicycle Parking</div>	0.4 Parking spaces per KSF GFA None Required

Note: KSF GFA: Thousand Square Feet of Gross Floor Area

Section 25. Section 6778 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6778 PARKING REQUIREMENTS: **AGRICULTURAL**

Type of Occupancy Use or Structure	Off-Street Parking
General Agricultural Horticulture, Crop Production, Animal Production <div style="text-align: right;">Bicycle Parking</div>	None Required None Required

Section 26. Section 6780 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6780 PARKING REQUIREMENTS: **OTHER OCCUPANCIES AND USES**

Type of Occupancy Use or Structure	Off-Street Parking
Other occupancies, uses and buildings not specified elsewhere in the Parking Schedules. <div style="text-align: right;">Bicycle Parking</div>	3.3 Parking spaces per KSF GFA 0.1 Bike space per car space but not less than 3

Section 27. Section 6782 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6782 PARKING REQUIREMENTS: USE PERMITS AND HISTORIC DISTRICT SITE PLANS

Type of Occupancy Use or Structure	Off-Street Parking
Uses conducted pursuant to a use permit or to a Historic District Site Plan.	The number of off-street parking and loading spaces, and bicycle spaces, shall be as required by the use permit or Historic District Site Plan. To the extent that the use permit or Historic District Site Plan does not specify the number of parking, loading, or bicycle spaces, the requirements of these Parking Regulations shall apply. Notwithstanding the parking requirements of this section, where a Historic District Site Plan pursuant to Section 5749a has been waived or exempted by the Director, existing buildings which are expanded or renovated shall be required to provide off-street parking only as determined by the Director to be feasible.

Section 28. Section 6783 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6783 PARKING REQUIREMENTS: SPECIAL PARKING DISTRICTS

Type of Occupancy Use or Structure	Off-Street Parking
Uses conducted within a Special Parking District as designated in Section 5761.	The number of off-street parking and loading spaces, and bicycle spaces shall be determined according to the provisions of Section 5761c. Notwithstanding the parking requirements of this section, where the Site Plan required at Section 5761c. has been waived or exempted by the Director, existing buildings which are expanded or renovated shall be required to provide off-street parking only as determined by the Director to be feasible, taking access from an alley or side street. The number of spaces shall be as close as possible to the number which would be required if the Special Parking District did not exist.

Section 29. Section 6784 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6784 REDUCTION OF PARKING SPACES.

- a. Parking Assessment District. The number of required parking spaces for uses and structures located within an assessment district formed to provide off-street parking shall be reduced by the number of parking spaces provided by the assessment district which are attributable to the subject property. For purposes of this Section, the parking spaces shall be attributed to each lot or parcel in the same ratio that the assessed value of the

subject parcel bears to the total assessed value of the assessment district, unless the Board of Supervisors determines that the parking spaces should be attributed to individual parcels in another manner.

- b. **Parking Reduction for Multi-Use and/or Mixed-Use Development.** A parking reduction may be approved by the Director where it can be demonstrated that two or more adjacent multi-use and/or mixed-use developments on one or more lots or parcels have distinctly different parking demand patterns that allow for the shared use of parking spaces without conflict. Shared parking is most effective when land uses have distinctly different activity periods such as day and night or weekday and weekend. Shared parking reductions may apply to either new or existing development.

Requirements for approval of shared parking reductions are as follows:

1. **Administrative Permit Is Required -** An Administrative Permit, in accordance with Sections 7050 through 7074, shall be required for the sharing of parking spaces. The Administrative Permit shall apply to every property subject to the shared parking arrangement. In addition to the findings required by Section 7060, the following additional findings are required:
 - i. The parking spaces to be provided for shared parking would be available as long as the uses requiring the spaces lawfully exist.
 - ii. The quality and efficiency of the shared parking would be comparable to the level that is otherwise required.
2. **Shared Parking Agreement Is Required –** The Administrative Permit shall include a condition requiring the applicant to submit a signed agreement between the applicant and the other property owner(s) providing the off-street parking spaces that are subject to the shared parking arrangement. The agreement shall be subject to the approval of the Director as to form and content and shall be recorded with the Office of the County Recorder.
3. **Parking Study –** The Director may require the applicant to submit a parking study, prepared by a qualified traffic or parking consultant, to assist the Director in determining the appropriate shared parking reduction. For existing development where new or different uses are proposed, the base parking demand may be based on either the County Parking Regulations parking ratio or on a detailed survey of actual parking demand for the active uses on the site. If a field survey approach is used, the study shall apply appropriate seasonal demand adjustments to determine the peak parking demand.
4. **Allowable Walking Distances For Shared Parking –** The shared parking arrangement will be more effective the closer shared parking spaces are to the uses they serve. The Director shall review and determine that the shared parking spaces are generally within the following desired maximum walking distances for customers/visitors and employees:
 - i. Customers/Visitors – 600 feet
 - ii. Employees – 1,000 feet

Section 30. Section 6785 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6785 RELATIONSHIP OF REQUIRED PARKING TO BUILDING SITE.

All required parking and bicycle spaces shall be located on the same legal parcel with the use or structure they are intended to serve, unless the site on which they are located is subject to the Fallbrook Village Parking Regulations in Section 8000, meets the provisions of Section 6788, or the site meets all of the following conditions:

- a. There is a traversable pedestrian route, not more than 600 feet in length over and along public streets or walkways or permanently established easements between the parking or bicycle spaces and the uses or structures to be served.
- b. The site is already zoned S86 Parking Use Regulations or, all persons owning an interest in the site shall execute and record an agreement not to oppose a reclassification to the S86 Parking Use Regulations and then shall make application and pay the fees for this reclassification.

Section 31. Section 6794 of the San Diego County Zoning Ordinance is hereby renumbered to Section 6786 and is hereby amended to read as follows:

6786 LOADING SPACES.

Loading spaces shall be 10' wide by 35' long. All buildings containing commercial or industrial use types, hospitals, or institutions hereafter constructed, converted, established, or enlarged to increase their floor area shall be provided with loading spaces as follows:

- a. Number of Loading Spaces.

Total Floor Area on Parcel (Other than floor area devoted to office uses)	Number of Loading Spaces
Less than 5,000 square feet	0
5,000 to 19,999 square feet	1
20,000 to 39,999 square feet	2
40,000 to 79,999 square feet	3
80,000 square feet and over	4 plus 1 space for each additional 50,000 square feet

- b. Access. Loading spaces shall have safe and adequate means of ingress and egress for trucks to and from a public street or alley and through the parking area.
- c. Exemptions. Notwithstanding the provisions of this section, mini-warehouses shall be exempted from the loading space requirements.
- d. Exceptions. Notwithstanding the requirements set forth in subsections a. and b. above, loading spaces for uses conducted pursuant to a use permit, Historic District Site Plan, or community design review Site Plan in a Special Parking District, shall be determined in accordance with Sections 6782 and/or 6783.

Section 32. Section 6787 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6787 LOCATION OF PARKING AND BICYCLE SPACES ON A BUILDING SITE.

- a. Open Parking. Except as provided in Paragraph "d", open parking spaces shall be outside the ultimate right-of-way of any street. Refer to Section 6700 et seq. for fencing and screening requirements. Open parking spaces shall be located as follows:

ZONE/USE REGULATION	PERMITTED LOCATION
Residential & Agricultural Zones S80, S81, S88, S90, S92 Use Regulations	Anywhere except in a required front or exterior side yard.
C30, C31, C46 Use Regulations	Anywhere except in a required front yard.
Other Commercial Zones, Industrial Zones, S82, S86, and S94 Use Regulations.	Anywhere except in a required landscaped area.
Village Zones	See Section 8000 et seq.

- b. Covered Parking. Covered or enclosed parking spaces may be located anywhere on a building site where a structure may be located. In the Fallbrook Village Zones 1 through 4, covered or enclosed parking spaces shall be outside the ultimate right-of-way of any street and shall be located generally behind a building.
- c. Bicycle Spaces. Bicycle spaces shall be located:
1. At least as close and accessible to the use or building served as is the most convenient motor vehicle parking (other than handicapped parking).
 2. As close to building entrances as is practical without interfering with pedestrian traffic.
 3. At ground level.
- d. Exceptions. A use permit, Variance, Administrative Permit, or historic district site plan may specify the location of parking areas and bicycle spaces in locations other than as required by Paragraphs "a" and "c" with the required finding that the exception to the bicycle spaces or open parking regulations does not create a safety hazard with site distance for the access to the site.

Section 33. Section 6788 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6788 COLLECTIVE PROVISION OF OFF-STREET PARKING AND ACCESS.

Collective off-street parking facilities that serve two or more uses, or structures sharing a common lot line in locations subject to commercial, industrial, or S86 Use Regulations may be authorized subject to the following requirements:

- a. The total parking spaces in such collective off-street parking facilities shall not be less than the sum of the requirements for the individual buildings or uses computed separately in accordance with the County Parking Regulations, unless a permit approved pursuant to this section specifies another amount.
- b. Collective Parking Agreement Is Required – The applicant must submit a signed agreement between the applicant and the other property owner(s) providing the collective parking spaces that grants a Reciprocal Easement for public utility purposes, ingress and egress to and from adjacent public right-of-way, access and parking over the common areas on each of the parcels and that establishes by agreement the use and maintenance of the common areas. The agreement shall be subject to the approval of the Director as to form and content and shall be recorded with the Office of the County Recorder.
- c. Parking Information – The Director may require the applicant to submit parking information on the uses and the associated number of parking spaces required, by the County Parking Regulations, a permit or another parking agreement, for each of the properties involved in the collective parking agreement.

Section 34. Section 6790 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6790 PARKING PLAN REQUIREMENTS.

Where required, parking plans submitted to the Department of Planning and Land Use shall include the following, as a minimum:

- a. The number of parking spaces required for each land use
- b. The total number of parking spaces required and provided
- c. The number of accessible car spaces required and provided
- d. The number of bicycle parking spaces required and provided
- e. The percent of area devoted to landscaping

Additional information may be required by the Director as necessary to determine compliance with parking regulations.

Section 35. Section 6792 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6792 DESIGN STANDARDS FOR OFF-STREET PARKING.

The design, dimensions, construction, landscaping, and surfacing of parking and bicycle spaces, driveways and other areas shall conform to the County Parking Regulations. Additional guidance is provided by the County Parking Design Manual.

- a. Parking Space Dimensions. Each required parking space shall be at least 9' wide by 18' long, with adequate provisions for ingress and egress by a standard full size passenger vehicle. The width of a parking space shall be increased by 2'-0" when adjacent to fences, walls, and planters. Parking spaces in parking lots shall comply with the minimum dimension requirements in **Table 1** and **Figure 1**.

All driveways and curb openings shall be a minimum of 3' from any obstruction, i.e. poles, hydrants, buildings, walls, and fences.

b. Parking Aisles.

1. One-Way and Two-Way Traffic Aisles. One-way access driveways leading to aisles within a parking area shall be a minimum of 12' wide. Two-way aisles and access driveways leading to aisles within a parking area shall be a minimum of 24' wide. Minimum aisle widths for one-way drive aisles within a parking area are shown in Table 1 and Figure 2. **A typical parking lot layout is illustrated in Figure 3.**
2. Fire Access Aisles. Designated fire access aisles must comply with the County's Consolidated Fire Code and/or the Fire Authority Having Jurisdiction. Minimum unobstructed fire access width is 24 feet. Vertical clearance minimum is 13 feet 6 inches. The Fire Authority Having Jurisdiction may require greater dimensions.
3. Truck Aisles. Access aisles for multiple-axle trucks in commercial and industrial projects shall be a minimum width of 40' for projects with a gross floor area of 10,000 square feet or greater or where the design of the project includes a loading dock. Truck movement templates (i.e. turning radii elements including wheel paths, which define the needed width of pavement edge that must be clear from obstructions above curb height) shall be included on the site plan to indicate turning conditions.

Table 1
Minimum Parking Layout Dimensions

Figures 1 & 3 Labels	Design Component		Parking Angle				
			0° (Parallel)	30°	45°	60°	90°
A	Stall Width		9'(8') ¹	9'	9'	9'	9'
B	Stall Length		22'	18'	18'	18'	18'
C	Stall Width Parallel to Aisle		N/A	18'-0"	12'-9"	10'-5"	9'-0"
D	Stall Depth to Curb or Wall		N/A	16'-10"	19'-1"	20'-1"	18'-0"
E	Stall Depth to Interlock		N/A	12'-11"	15'-11"	17'-10"	18'-0"
F	Aisle Width ²	Fire Aisle	Per Fire Requirements				
		One-Way	13'	14'	16'	19'	N/A
		Two-Way	24'	22'	24'	24'	26'
G	Module Width Wall/Curb to Interlock	One-Way Aisle	N/A	43'-9"	51'-0"	46'-11"	N/A
		Two-Way Aisle	N/A	51'-9"	59'-0"	61'-11"	62'-0"
H	Module Width Interlock to Interlock	One-Way Aisle	N/A	39'-10"	47'-10"	54'-8"	N/A
		Two-Way Aisle	N/A	47'-10"	55'-10"	59'-8"	62'-0"
not shown in Figure 1	Module Width Wall/Curb to Wall/Curb	One-Way Aisle	31'-0"	47'-8"	54'-2"	59'-2"	N/A
		Two-Way Aisle	42'-0"	55'-8"	62'-2"	64'-2"	62'-0"
I	Cross Aisle Width ²	One-Way	15'	15'	15'	15'	15'
		Two-Way	22'	22'	22'	22'	22'

¹ 8' width applies to on-street parking stalls

² The Director may require greater aisle width due to emergency San Diego County Fire Authority equipment access needs. Aisles 24' or greater shall be designated as Fire Access.

N/A – Not Applicable

Figure 1
Reference Drawing for Minimum Parking Dimensions

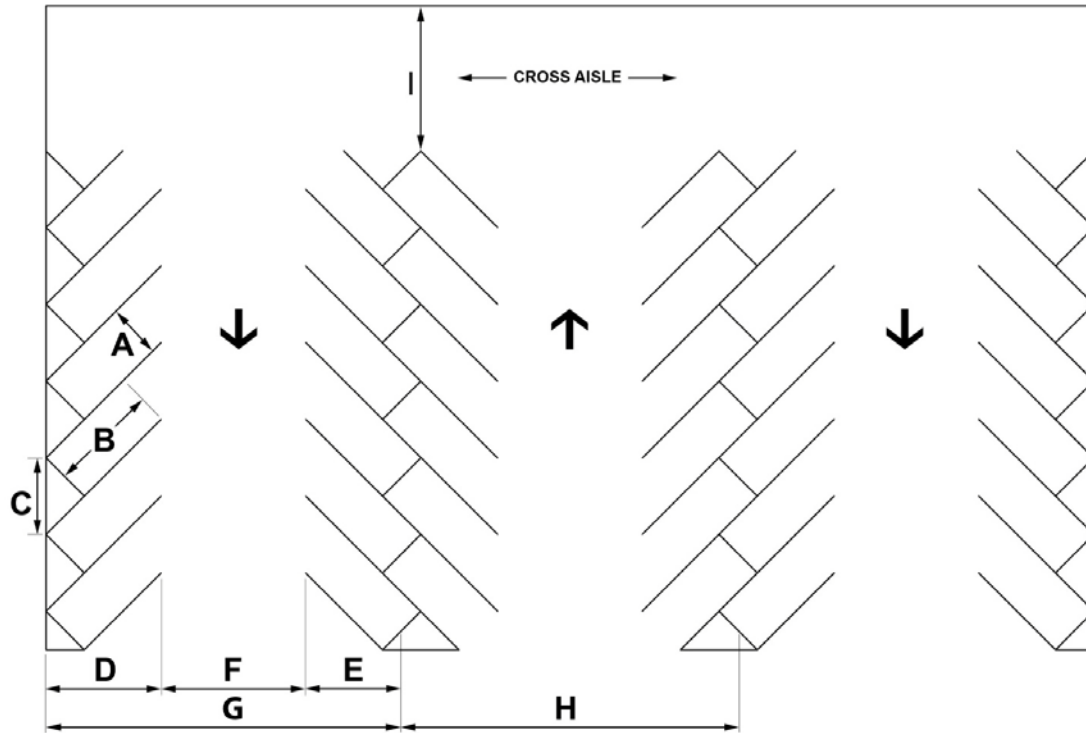
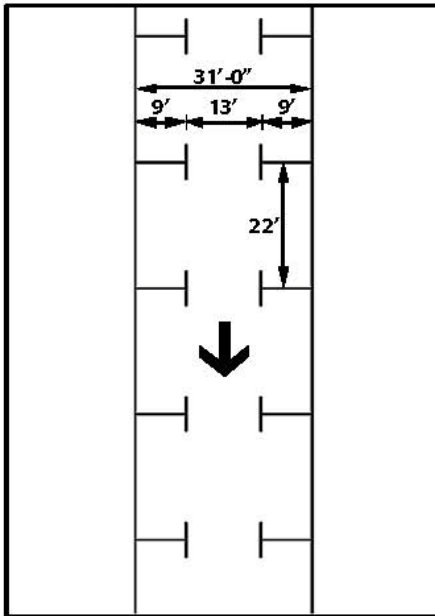
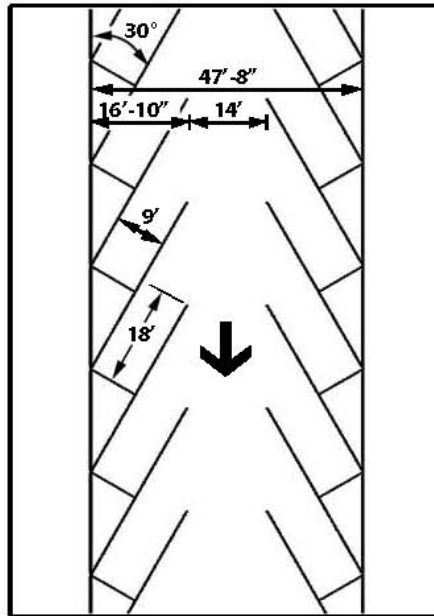


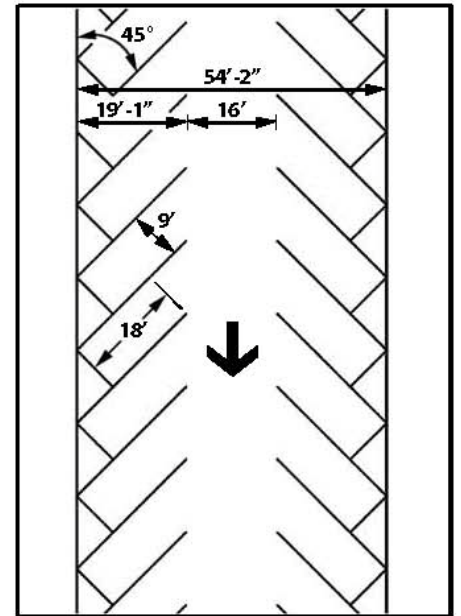
Figure 2
Minimum Dimensions for Common Parking Lot Layouts



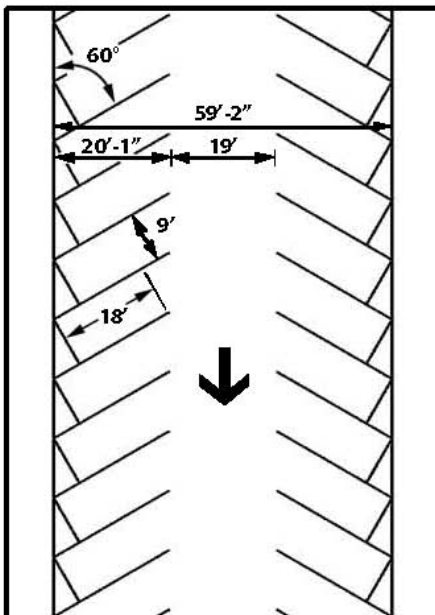
0° Parallel Parking Spaces



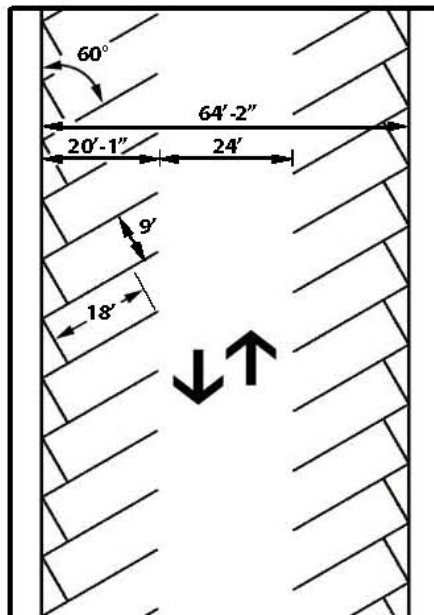
30° Parking Spaces



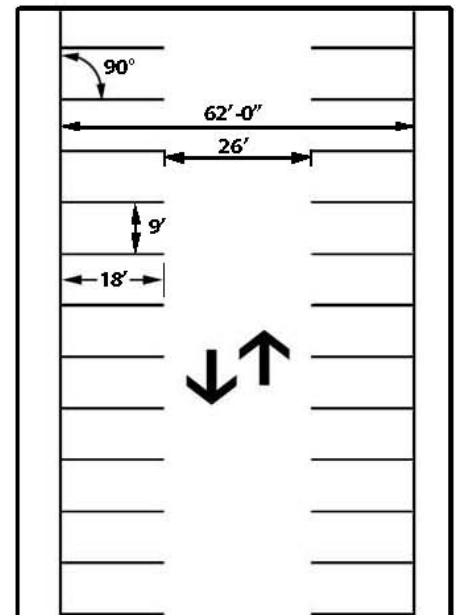
45° Parking Spaces



**60° Parking Spaces
One - Way**

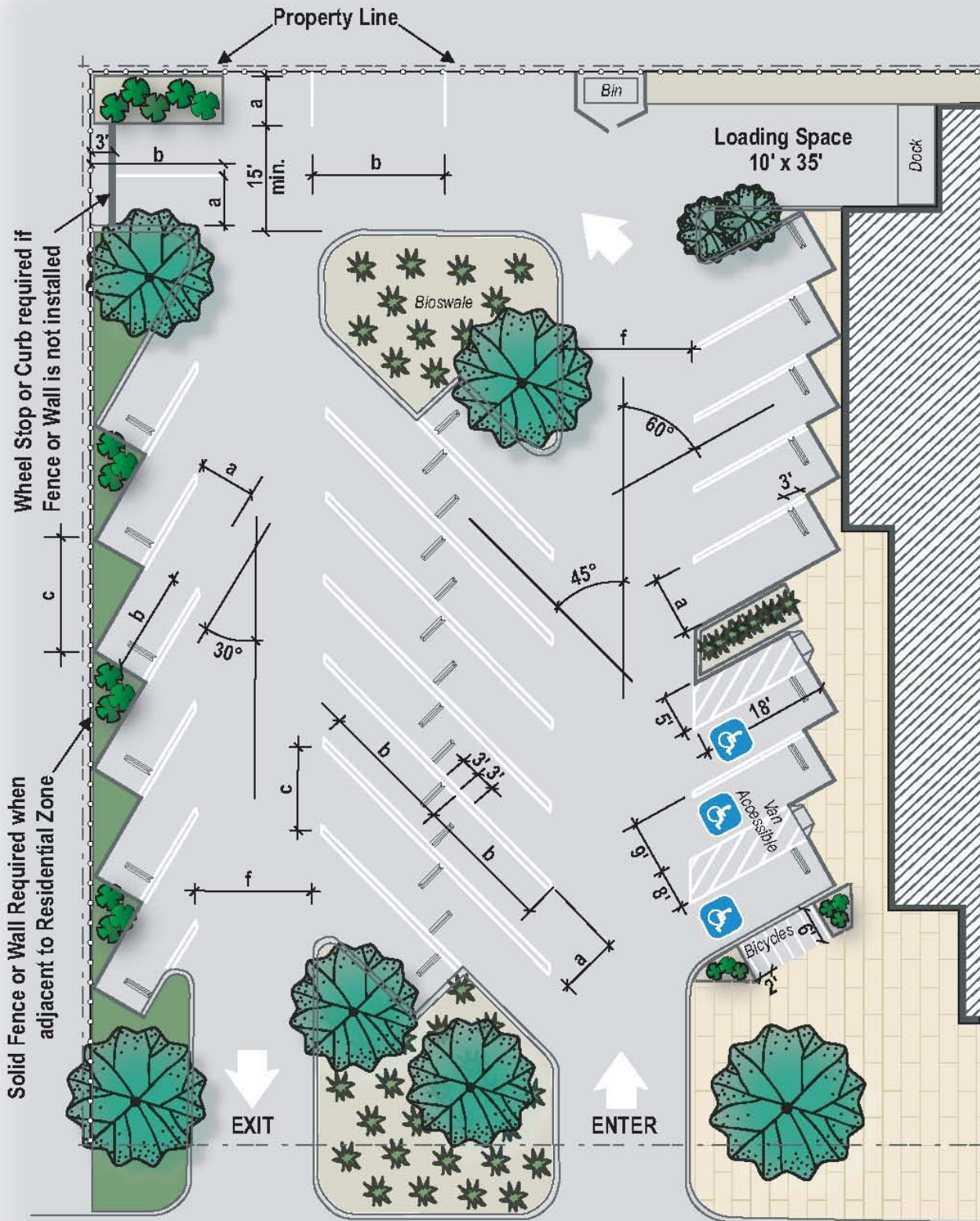


**60° Parking Spaces
Two - Way**



90° Parking Spaces

Figure 3
Example of Parking Lot Angles and Dimensions



4. Drive-Through Aisles. All projects which feature drive-through facilities (bank, fast-food, etc.) shall provide a drive-through aisle capable of a reasonable queuing of vehicles without impeding the circulation of traffic within the parking area or abutting driveway or street travel way. Drive-through aisles should not cross pedestrian pathways and be clearly designated with striping and/or signage. See the Schedule of Parking Requirements for specifications.

c. Parking Details.

1. Surfacing. Except for zones subject to the Agricultural Use Regulations, all parking spaces, loading spaces, and driveways shall be hard surfaced with durable asphalt concrete or Portland Cement Concrete surfacing on a suitably prepared base. Parking spaces and driveways accessory to single-family and duplex dwellings need not be surfaced with a more durable type of surfacing than that which exists on the access street. Driveways and aisles designated for "fire access" must be capable of supporting fire apparatus (minimum 50,000 pounds) unless a greater minimum is required by the Fire Authority Having Jurisdiction.

Table 2 summarizes the required paving thickness of A/C and base according to soil classification, and shall be used unless a suitable alternative pavement design by a registered civil engineer is submitted and approved by the Director, Department of Planning and Land Use. Soil classifications are as established based on the R-value, or resistance value, which identifies the strength of soil from vertically applied pressure. R-value is a factor used in pavement design in the San Diego Regional Standard Drawings to determine the necessary thickness of paving required. Soil classifications identified in Table 2 are established as follows:

Good to Excellent Subbase: soil with an R value of 40 or greater.

Medium Subbase: soil with an R value of 20 to 39

Poor Subbase: soil with an R value less than 20

Where permeable surfacing alternatives are desired or required to protect surface water quality and/or implement Low Impact Development practices, an alternative design may be approved by the Director which demonstrates adequate material strength, satisfaction of local and regional standards, and community character preferences. Structural equivalence should be demonstrated based upon published criteria by Caltrans or AASHTO.

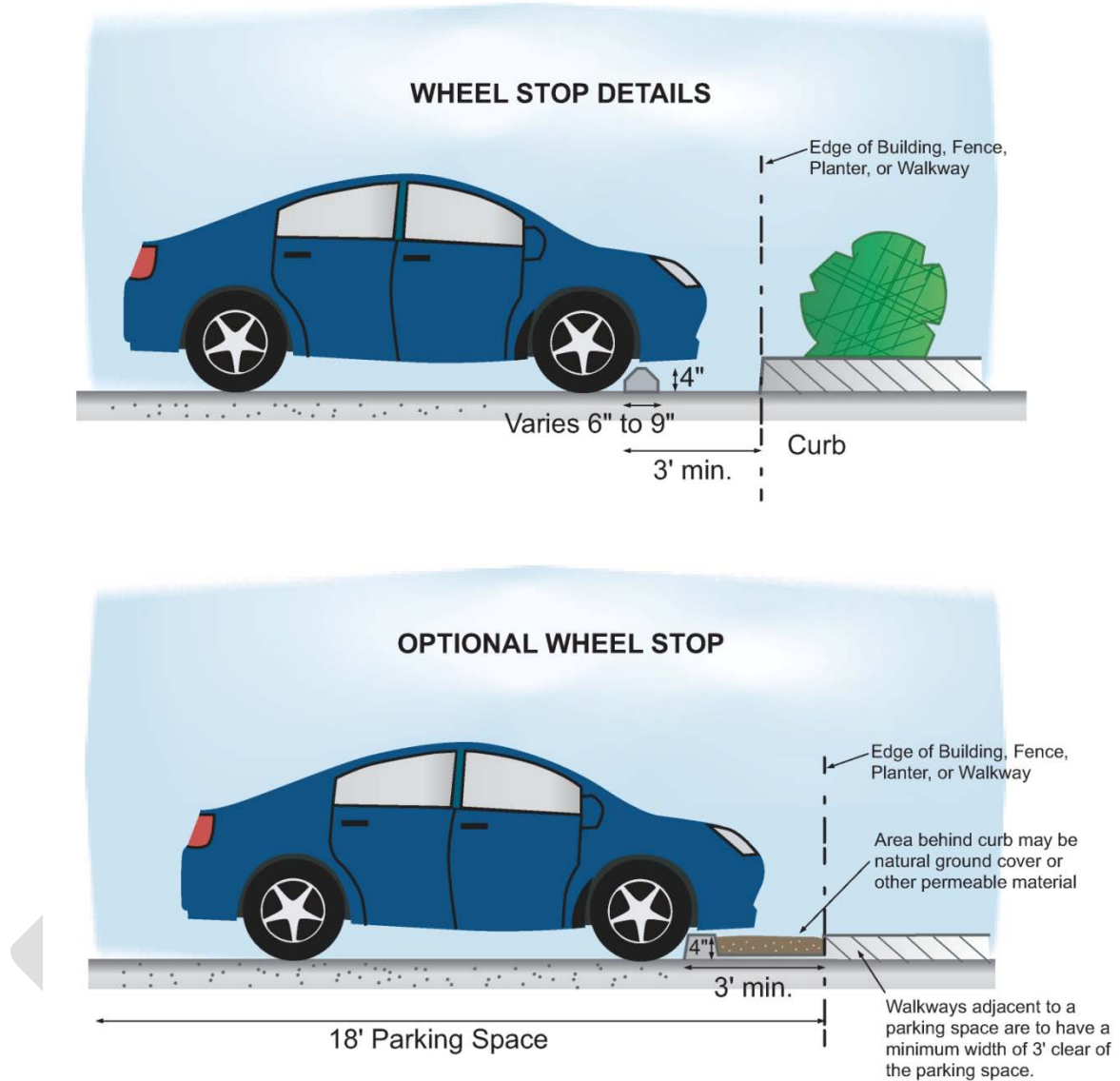
Within the desert areas of the North Mountain, Mountain Empire, and Desert Subregional Plan areas, 4" of decomposed granite or suitable alternate material may be approved by the Director in lieu of more durable paving on residential driveways.

Table 2
Required Thickness of A/C and Subbase

Existing Soil Classifications	Residential Parking (≤4 spaces)	Multi-Family Commercial Frontage Parking	Commercial Truck Loading and Parking
GOOD TO EXCELLENT BASE Decomposed granite, well graded sands and gravels which retain load supporting capacity when wet	2" A/C on existing soil	3" A/C on existing soil	3" A/C on 5" aggregate base or 4" A/C on aggregate base or 5" A/C on existing soil
MEDIUM BASE Silty sands and sand gravels containing moderate amounts of clay and fine silt. Retains moderate amount of firmness under adverse moisture conditions	2" A/C on 6" of decomposed granite base or 3" A/C on 3" aggregate base or 4" on existing soil	3" A/C on 5" aggregate base or 4" A/C on 3" aggregate base or 5" on existing soil	3" A/C on 7" aggregate base or 4" A/C on 5.5" aggregate base or 6" A/C on existing soil
POOR BASE Soils having appreciable amounts of clay and fine silt. Soils become quite soft and plastic when wet	3" A/C on 5.5" aggregate base or 5" A/C on existing soil	3" A/C on 8" aggregate base or 4" A/C on 5.5" aggregate base or 6" A/C on existing soil	3" A/C on 12" aggregate base or 4" A/C on 10.5" aggregate base or 8" A/C on existing soil

2. Vehicular bumper overhang is prohibited in all areas where the parking stall is adjacent to a fence, wall, building or structure, to a pedestrian walkway of less than 7' in width, to planter beds (unless the first 3' from curb is low volume or subsurface irrigation or to a non-irrigated material), or to an interlocking parking space.
3. Wheel Stops. If a wheel stop is used in the parking stall, it shall be 4" high and 4' to 6' long. The distance from the front end of the space to the rear of the wheel stop shall be 3'. It shall be placed so as to avoid bumper overhang beyond the designated parking space and to avoid creating a safety hazard for pedestrians. Figure 4 illustrates typical wheel stop dimensions
4. Striping. All parking spaces shall be delineated by striping consisting of 4" wide painted white lines.

Figure 4
Example of Wheel Stop Dimensions



5. **Bicycle Parking.** Newly constructed non-residential uses shall provide bicycle parking in accordance with the 2010 California Green Building Standards Code Sections 5.106.4.1 and 5.106.4.2, or meet local ordinance or the University of California Policy on Sustainable practices, whichever is stricter. The 2010 California Green Building Standards Code provides standards for the provision of both short-term bicycle parking for visitors and long-term bicycle parking for building tenant-occupants.

One bicycle parking space shall consist of a floor area at least 2' wide and 6' long, served by an aisle at least 5' wide for bicycle spaces which are not divided into individual lockers or racks. Bicycle racks should be so designed and constructed

that a bicycle can be securely locked with a user-supplied padlock. Racks shall provide a space at least 2' in width for each bicycle.

6. Tandem Parking. Tandem parking represents a parking configuration where one vehicle parks directly behind another and the vehicle in back must be moved in order for the front vehicle to leave. Tandem parking shall be limited to a maximum of two cars in depth and should be 9' wide and 36' long. When determining access aisle widths for tandem parking, the aisle widths for standard stalls should be used. Parking spaces for persons with disabilities shall not be used in a tandem configuration.

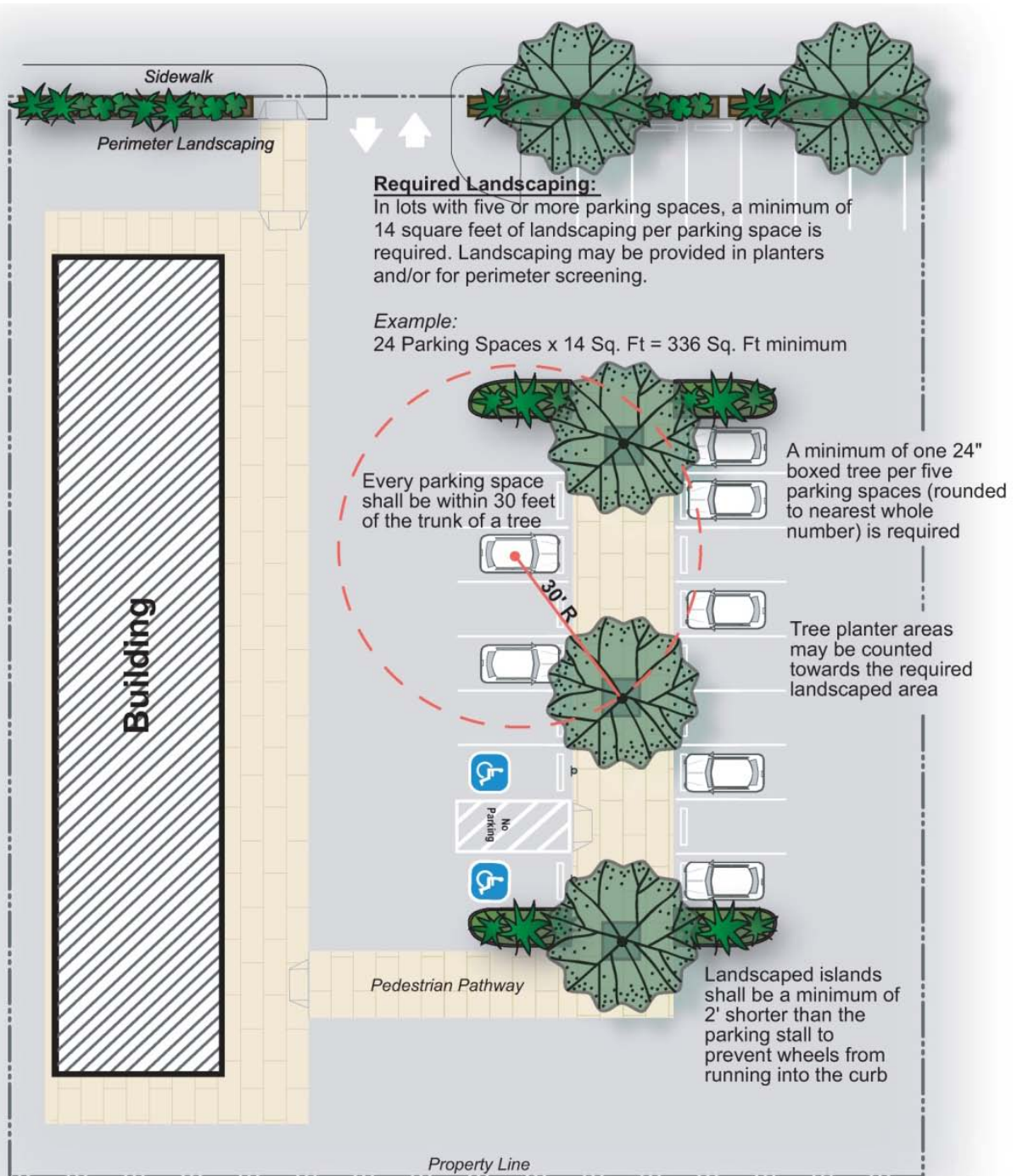
Tandem parking stalls are only allowed for:

- i. Residential use – single family, duplex, and townhome uses.
 - ii. Multi-family residential uses – subject to the following conditions:
 - a) The tandem spaces should be reserved for and assigned to dwelling units which are required to have two or more parking spaces.
 - b) At least 10 percent of the total parking spaces provided on the site should be unassigned standard (non-tandem) spaces that are available for the use of visitors.
 - iii. Commercial uses – Tandem spaces should not be allowed for new commercial construction. Tandem spaces may only be allowed for existing commercial buildings or existing buildings that are undergoing a change of use and are subject to the following conditions:
 - a) The tandem spaces should be reserved for use by employees and should be designated for employee parking through the use of signage or pavement marking.
 - b) At least 50 percent of the require spaces should be unassigned standard (non-tandem) spaces that are available for the use of visitors.
7. Clean Air Vehicle Parking. In accordance with the 2010 California Green Building Standards Code, newly constructed non-residential uses shall provide designated parking for any combination of low-emitting, fuel efficient and carpool/van pool vehicles. Parking spaces provided for clean air vehicle will be credited towards the minimum parking requirement per the Zoning Ordinance.
- d. Lighting. Adequate lighting shall be provided in all parking areas used by the public for safe pedestrian and vehicular movement. A Lighting Plan for parking lot sites with 5 or more parking spaces shall be provided. Lighting should clearly identify the parking lot, entrances and exits to adjacent streets, and enhance the pedestrian environment. Lighting Plans should be appropriate to the location, context and scale of the areas being lit.

- e. Landscaping. Landscaping in and around parking areas improves visual aesthetics, reduces soil erosion and carbon dioxide emissions, and provides shade while minimizing the heat island effect that results from asphalt and/or large building block surfaces such as parking lots. Therefore, adequate and properly maintained landscaping is a significant component to parking lot design. Figure 5 illustrates some of the landscaping requirements.

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Figure 5
Landscaping Requirements in Parking Lots



Landscaping General Requirements. In parking areas with 5 or more parking spaces, a minimum of 14 square feet of landscape shall be provided per parking space. Landscaping may be provided in parking lot planters and/or for perimeter screening. Parking lot landscaping shall be provided in addition to other landscaping requirements in the right-of-way or setback areas by the M50 and M52 Use Regulations, by any other Ordinances or discretionary application approvals. Within the Fallbrook Village areas, see Section 8000 et seq. of the Zoning Ordinance.

1. A minimum of one 24" boxed tree per 5 parking spaces is required for a parking area.
2. Planter strips with shrubs shall have a minimum unpaved width of 2'. Planter strips with trees shall have a minimum unpaved width of 5'. Where feasible, planter strips should be concave to help channel stormwater runoff.
3. High shrubs or small trees may be used for perimeter planting, except at driveway entrances where plant material shall be positioned to avoid obstructing motorist views and be sensitive to sight distance requirements.
4. Trees along designated fire access roads/driveways/aisles shall provide a minimum 13'-6" vertical clearance for the full fire access width.
5. Landscape islands located at the end of parking aisles shall be a minimum of 2' shorter than the parking stall length to prevent wheels from running into the curb when turning in or backing out of a space.

f. Residential Parking for Detached Single Family, Duplexes, and Triplexes

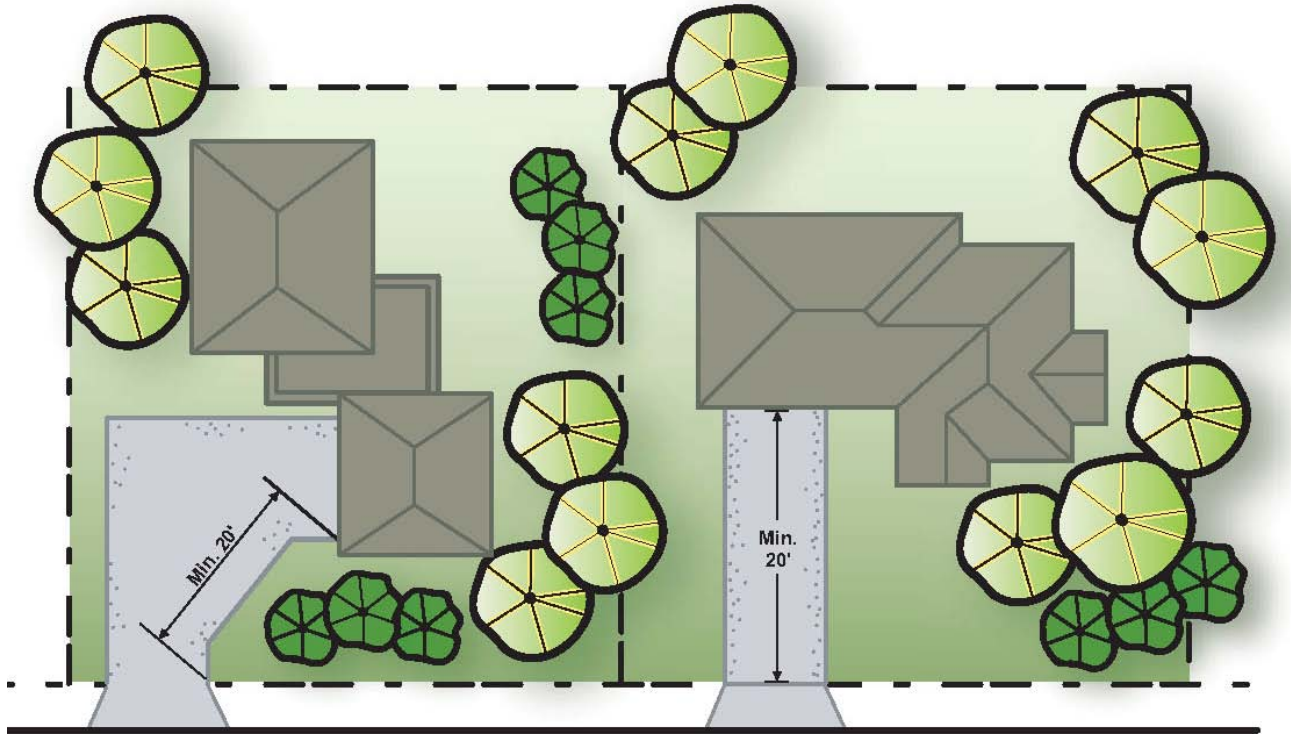
1. Driveways. A residential driveway shall have a minimum length of 20' between the garage door and public right-of-way. Reduced driveway lengths may be permitted for driveways on private roads pursuant to project approval provided it can be shown that the reduced driveway length does not interfere with a sidewalk or other designated pathway. **Figure 6** illustrates the minimum length for residential driveways.

Driveways with a grade greater than 15 percent shall be hard-surfaced and have a deep broom finish perpendicular to the direction of travel. Driveways which serve as required fire access must meet additional requirements specified in the applicable Fire Code.

Where driveways cross existing roadside ditches, a dip section providing an unobstructed waterway equivalent to the full area of the ditch may be used if grades are feasible. Where grades make use of a dip section infeasible, a culvert pipe shall be installed. The size of the culvert pipe and design of the driveway culvert shall be reviewed for adequacy by the Department of Public Works.

2. Garages. For all enclosed residential garages, a minimum parking space size 10' wide by 20' long is required for parking spaces where the length of the space is next to a wall and 9' wide by 20' long for any additional spaces. The space(s) should be designated to be free from obstruction (i.e. water heater, laundry equipment, etc.).

Figure 6
Minimum Length for Residential Driveways



Section 36. Section 6793 of the San Diego County Zoning Ordinance is hereby repealed.

Section 37. Section 6795 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6795 WAIVER, MODIFICATION, VARIANCES FROM PARKING REGULATIONS.
The requirement for design, dimensions, construction, landscaping, and surfacing of parking and bicycle spaces, driveways and other areas may be administratively waived or modified by the Director when practical difficulties make their strict application infeasible and upon a finding that the waiver or modification is consistent with the purpose and intent of Section 6792. Any other waiver or modification of these Parking Regulations shall be allowed only in accordance with the Variance Procedure commencing at Section 7100, unless otherwise specified.

Section 38. Section 6799 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6799 PARKING OF COMMERCIAL VEHICLES IN RESIDENTIAL, AGRICULTURAL AND CERTAIN SPECIAL PURPOSE ZONES.

No person shall park any "commercial vehicle" as defined by the California Vehicle Code in excess of one ton capacity on private property in Residential, Agricultural and the S90 and S92 Special Purpose Zones except as follows:

- a. When loading or unloading property, or

- b. When such vehicle is parked in connection with, and in aid of, the performance of a service to or on property in the block in which such vehicle is parked.

These exceptions do not authorize parking in violation of Fire Lane parking restrictions as detailed in the California Vehicle Code section 22500.1.

Notwithstanding the above provisions, no commercial vehicle shall remain parked in excess of five consecutive hours. Section 6799 does not apply to recreational vehicles or farm vehicles or equipment, including maintenance equipment, necessary for agricultural production on the property where the vehicles and equipment are parked. In Agricultural Zones and the S90 and S92 Special Purpose Zones, a maximum of two vehicles of up to two tons capacity may be parked by a person owning said vehicles and owning the property where they are parked and who is conducting a commercial agricultural operation located on site or elsewhere.

Section 39. Section 8130 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

8130 PARKING REGULATIONS

a. Purpose And Intent

The intent of the Fallbrook Village parking regulations is to ensure adequate off-street parking in relation to allowed uses and activities. The regulations are also intended to maintain and enhance existing zero front yard setback development patterns in the traditional downtown commercial district consistent with the Fallbrook Design Guidelines. To achieve this purpose, all of the Village 1 Zone is located in the Fallbrook Special Parking District with provision for meeting parking requirements in shared parking lots.

b. Parking Requirements

All of the V1 Zone is included in the Fallbrook Special Parking District (see Zoning Ordinance Section 5761).

In the V1 Zone, the number of spaces required by the Parking Schedules in Sections 6758 through 6783 may be reduced up to 25%.

c. Relationship of Required Parking to Building Site

Required parking and bicycle spaces may be located on the same legal parcel with the use or structure they are intended to serve. The parking requirement may and should preferably be met through participation in a shared parking lot. Parking requirements may be fulfilled on-site or on any other property within 900 feet of the site requiring the parking. Evidence must be provided to the County that parking lot ownership shares have not been previously used or counted to meet the parking requirements for any other existing business. The parking spaces shall be tied to the property receiving the permit using a method acceptable to the Director of Planning and Land Use.

d. Location of Parking on a Building Site

1. Bicycle Spaces. Bicycle spaces, if provided, shall be located:

- a) At least as close and accessible to the use or building served as is the most convenient motor vehicle parking (other than handicapped parking).
 - b) As close to the building entrances as is practical without interfering with pedestrian traffic.
 - c) At ground level.
 2. Covered Parking. Covered or enclosed parking spaces shall be outside the ultimate right-of-way of any street and shall be located in the rear half of the lot. This provision does not apply to any shared parking lot provided pursuant to Section 8130 c. that does not have a building on the same legal parcel.
 3. Open Parking. Open parking spaces shall be outside the ultimate right-of-way of any street and shall be located generally behind a building. This provision does not apply to any shared parking lot provided pursuant to Section 8130 c. that does not have a building on the same legal parcel.
 4. Exceptions. A Use Permit, Variance, or Administrative Permit may specify the location of parking areas and bicycle spaces in locations other than as required by Section 8130.d. 1 – 3 above.
- e. Parking Space Dimensions
1. The minimum dimensions for parking spaces shall be as specified in Section 6792 of the Zoning Ordinance. The Director may require larger dimensions if he determines that larger dimensions are needed to provide safe and adequate parking in specific situations.
 2. Accessible Parking. At least one space of the required parking, if any, in any parking area shall be designed for accessible parking as specified in the Parking Design Manual and the California Building Code. Such spaces shall be located as close as possible to the entrance of the use or structure, and shall be reserved and designated for accessible persons. The total number of required accessible spaces shall be that specified by the California Code of Regulations (Title 24) of the California Building Code.
- f. Design Standards for Off-street Parking
- Parking spaces and areas shall meet the following design and improvement standards:
1. Surfacing. All parking spaces or areas, loading spaces and driveways serving them shall be hard surfaced in accordance with the specifications set forth in the Parking Design Manual. The type of surfacing for proposed parking spaces and driveways shall be indicated on all plot plans that accompany Site Plan applications and building construction plans.
 2. Landscaping. An area at least equal to 5 percent of the area of any parking area shall be landscaped in conformance to the requirements of Paragraph 3) of this Section and Section 6712.

3. **Parking Design.** The design, dimensions, construction, landscaping, and surfacing of parking and bicycle spaces, driveways and other areas shall conform to the requirements of the Section 6792 of the Zoning Ordinance. The Director may administratively waive or modify one or more such requirements when practical difficulties make their strict application infeasible, and upon a finding that the waiver or modification is consistent with the purpose and intent of this section.

Section 40. Section 8230 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

8230 **PARKING REGULATIONS**

a. **Purpose And Intent**

The intent of the Fallbrook Village parking regulations is to ensure adequate off-street parking in relation to allowed uses and activities. The regulations are also intended to maintain and enhance existing zero front yard setback development patterns in the traditional downtown commercial district, consistent with the Fallbrook Design Guidelines. To achieve this purpose, all of the Village 2 Zone is located in the Fallbrook Special Parking District with provision for meeting parking requirements in shared parking lots.

b. **Parking Requirements**

All of the V2 Zone is included in the Fallbrook Special Parking District (see Zoning Ordinance Section 5761).

In the V2 Zone the number of spaces required by the Parking Schedules in Section 6758 through 6783 may be reduced up to 25%.

c. **Relationship of Required Parking to Building Site**

Required parking and bicycle spaces may be located on the same legal parcel with the use or structure they are intended to serve. The parking requirement may and should preferably be met through participation in a shared parking lot. Parking requirements may be fulfilled on-site or on any other property within 600 feet of the site requiring the parking. Evidence must be provided to the County that parking lot ownership shares have not been previously used or counted to meet the parking requirements for any other existing business. The parking spaces shall be tied to the property receiving the permit using a method acceptable to the Director of Planning and Land Use.

d. **Location of Parking On A Building Site**

1. **Bicycle Spaces.** Bicycle spaces, if provided, shall be located:

- a) At least as close and accessible to the use or building served as is the most convenient motor vehicle parking (other than handicapped parking).
- b) As close to the building entrances as is practical without interfering with pedestrian traffic.

c) At ground level.

2. Covered Parking. Covered or enclosed parking spaces shall be outside the ultimate right-of-way of any street and shall be located in the rear half of the lot. This provision does not apply to any shared parking lot provided pursuant to Section 8230 c. that does not have a building on the same legal parcel.
3. Open Parking. Open parking spaces shall be outside the ultimate right-of-way of any street and shall be located generally behind a building. This provision does not apply to any shared parking lots provided pursuant to Section 8230 c. that does not have a building on the same legal parcel.
4. Exceptions. A Use Permit, Variance Or Administrative Permit may specify the location of parking areas and bicycle spaces in locations other than as required by Section 8230.d.1 – 3 above.

e. Parking Space Dimensions

1. The minimum dimensions for parking spaces shall be as specified in Section 6792 of the Zoning Ordinance. The Director may require larger dimensions if he determines that larger dimensions are needed to provide safe and adequate parking in specific situations.
2. Accessible Parking. At least one space of the required parking, if any, in any parking area shall be designed for accessible parking as specified in the Parking Design Manual and the California Building Code. Such spaces shall be located as close as possible to the entrance of the use or structure, and shall be reserved and designated for accessible persons. The total number of required accessible spaces shall be that specified by the California Code of Regulations (Title 24) of the California Building Code.

f. Design Standards for Off-Street Parking

Parking spaces and areas shall meet the following design and improvement standards:

1. Surfacing. All parking spaces or areas, loading spaces and driveways serving them shall be hard surfaced in accordance with the specifications set forth in the Parking Design Manual. The type of surfacing for proposed parking spaces and driveways shall be indicated on all plot plans that accompany Site Plan applications and building construction plans.
2. Landscaping. An area at least equal to 5 percent of the area of any parking area shall be landscaped in conformance to the requirements of Paragraph 3) of this Section and Section 6712.
3. Parking Design. The design, dimensions, construction, landscaping, and surfacing of parking and bicycle spaces, driveways and other areas shall conform to the requirements of the Section 6792 of the Zoning Ordinance. The Director may administratively waive or modify one or more such requirements when practical difficulties make their strict application infeasible, and upon a finding

that the waiver or modification is consistent with the purpose and intent of this section.

Section 41. Section 8330 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

8330 PARKING REGULATIONS

a. Purpose and Intent

The intent of the Fallbrook Village parking regulations is to ensure adequate off-street parking in relation to allowed uses and activities. The regulations are also intended to maintain and enhance existing zero front yard setback development patterns in the traditional commercial district consistent with the Fallbrook Design Guidelines. To achieve this purpose, a portion of the Village 3 Zone is located in the Fallbrook Special Parking District and all of the Village 3 Zone provides for reduced parking requirements with provision for meeting parking requirements in shared parking lots.

b. Parking Requirements

The portion of the V3 Zone specified in Section 5761.b.1 is included in the Fallbrook Special Parking District (see Zoning Ordinance Section 5761).

In the V3 Zone, the number of spaces required by the Parking Schedules in Sections 6758 through 6783 may be reduced up to 25%.

c. Relationship of Required Parking to Building Site

Required parking and bicycle spaces may be located on the same legal parcel with the use or structure they are intended to serve. The parking requirement may and should preferably be met through participation in a shared parking lot. Parking requirements may be fulfilled on-site or on any other property within 600 feet of the site requiring the parking. Evidence must be provided to the County that parking lot ownership shares have not been previously used or counted to meet the parking requirements for any other existing business. The parking spaces shall be tied to the property receiving the permit using a method acceptable to the Director of Planning and Land Use.

d. Location of Parking On A Building Site

1. Bicycle Spaces. Bicycle spaces, if provided, shall be located:

- a) At least as close and accessible to the use or building served as is the most convenient motor vehicle parking (other than handicapped parking).
- b) As close to the building entrance as is practical without interfering with pedestrian traffic.
- c) At ground level.

2. Covered Parking. Covered or enclosed parking spaces shall be outside the ultimate right-of-way of any street and shall be located in the rear half of the lot.

This provision does not apply to any shared parking lot provided pursuant to Section 8330 c. above that does not have a building on the same legal parcel.

3. Open Parking. Open parking spaces shall be outside the ultimate right-of-way of any street and shall be located generally behind a building. This provision does not apply to any shared parking lot provided pursuant to Section 8330 c. above that does not have a building on the same legal parcel.
 4. Exceptions. A use permit, variance or administrative permit may specify the location of parking areas and bicycle spaces in locations other than a required by Section 8330 d. 1 – 3.
- e. Parking Space Dimensions
1. The minimum dimensions for parking spaces shall be as specified in Section 6792 of the Zoning Ordinance. The Director may require larger dimensions if he determines that larger dimensions are needed to provide safe and adequate parking in specific situations.
 2. Accessible Parking. At least one space of the required parking, if any, in any parking area shall be designed for accessible parking as specified in the Parking Design Manual and the California Building Code. Such spaces shall be located as close as possible to the entrance of the use or structure, and shall be reserved and designated for accessible persons. The total number of required accessible spaces shall be that specified by the California Code of Regulations (Title 24) of the California Building Code.
- f. Design Standards for Off-Street Parking
- Parking spaces and areas shall meet the following design and improvement standards:
1. Surfacing. All parking spaces or areas, loading spaces and driveways serving them shall be hard surfaced in accordance with the specifications set forth in the Parking Design Manual. The type of surfacing for proposed parking spaces and driveways shall be indicated on all plot plans that accompany Site Plan applications and building construction plans.
 2. Landscaping. An area at least equal to 5 percent of the area of any parking area shall be landscaped in conformance to the requirements of Paragraph 3) of this Section and Section 6712.
 3. Parking Design. The design, dimensions, construction, landscaping, and surfacing of parking and bicycle spaces, driveways and other areas shall conform to the requirements of the Section 6792 of the Zoning Ordinance. The Director may administratively waive or modify one or more such requirements when practical difficulties make their strict application infeasible, and upon a finding that the waiver or modification is consistent with the purpose and intent of this section.

Section 42. Section 8430 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

a. Purpose and Intent

The intent of the Fallbrook Village parking regulations is to ensure adequate off-street parking in relation to allowed uses and activities. The regulations are also intended to maintain and enhance existing zero front yard setback development patterns in the traditional commercial district consistent with the Fallbrook Design Guidelines. To achieve this purpose, all of the Village 4 Zone provides for reduced parking requirements with provision for meeting parking requirements in shared parking lots.

b. Parking Requirements

In the V4 Zone, the number of spaces required by the Parking Schedules in Sections 6758 through 6783 may be reduced up to 25%.

c. Relationship of Required Parking to Building Site

Required parking and bicycle spaces may be located on the same legal parcel with the use or structure they are intended to serve. For any property in the V4 Zone, the parking requirement may and should preferably be met through participation in a shared parking lot. Parking requirements may be fulfilled on-site or on any other property within 600 feet of the site requiring the parking. Evidence must be provided to the County that parking lot ownership shares have not been previously used or counted to meet the parking requirements for any other existing business. The parking spaces shall be tied to the property receiving the permit using a method acceptable to the Director of Planning and Land Use.

d. Location of Parking On A Building Site

1. Bicycle Spaces. Bicycle spaces, if provided, shall be located:
 - a) At least as close and accessible to the use or building served as is the most convenient motor vehicle parking (other than handicapped parking).
 - b) As close to the building entrance as is practical without interfering with pedestrian traffic.
 - c) At ground level.
2. Covered Parking. Covered or enclosed parking spaces shall be outside the ultimate right-of-way of any street and shall be located in the rear half of the lot. This provision does not apply to any shared parking lot provided pursuant to Section 8430 c. above that does not have a building on the same legal parcel.
3. Open Parking. Open parking spaces shall be outside the ultimate right-of-way of any street and shall be located generally behind a building. This provision does not apply to any shared parking lot provided pursuant to Section 8430 c. above that does not have a building on the same legal parcel.

4. Exceptions. A use permit, variance or administrative permit may specify the location of parking areas and bicycle spaces in locations other than a required by Section 8430 d. 1 – 3.
- e. Parking Space Dimensions
1. The minimum dimensions for parking spaces shall be as specified in Section 6792 of the Zoning Ordinance. The Director may require larger dimensions if he determines that larger dimensions are needed to provide safe and adequate parking in specific situations.
 2. Accessible Parking. At least one space of the required parking, if any, in any parking area shall be designed for accessible parking as specified in the Parking Design Manual and the California Building Code. Such spaces shall be located as close as possible to the entrance of the use or structure, and shall be reserved and designated for accessible persons. The total number of required accessible spaces shall be that specified by the California Code of Regulations (Title 24) of the California Building Code.
- f. Design Standards for Off-street Parking
- Parking spaces and areas shall meet the following design and improvement standards:
1. Surfacing. All parking spaces or areas, loading spaces and driveways serving them shall be hard surfaced in accordance with the specifications set forth in the Parking Design Manual. The type of surfacing for proposed parking spaces and driveways shall be indicated on all plot plans that accompany Site Plan applications and building construction plans.
 2. Landscaping. An area at least equal to 5 percent of the area of any parking area shall be landscaped in conformance to the requirements of Paragraph 3) of this Section and Section 6712.
 3. Parking Design. The design, dimensions, construction, landscaping, and surfacing of parking and bicycle spaces, driveways and other areas shall conform to the requirements of the Section 6792 of the Zoning Ordinance. The Director may administratively waive or modify one or more such requirements when practical difficulties make their strict application infeasible, and upon a finding that the waiver or modification is consistent with the purpose and intent of this section.

Section 43. Section 8530 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

8530 PARKING REGULATIONS

a. Purpose and Intent

The intent of the Fallbrook Village parking regulations is to ensure adequate off-street parking in relation to allowed uses and activities. The regulations are also intended to maintain and enhance compatibility with the adjacent residential uses consistent with the

Fallbrook Design Guidelines. To achieve this purpose, all of the Village 5 Zone provides for reduced parking requirements with provision for meeting parking requirements in shared parking lots.

b. Parking Requirements

In the V5 Zone, the number of spaces required by the Parking Schedules in Sections 6758 through 6783 may be reduced up to 25%.

c. Relationship of Required Parking to Building Site

Required parking and bicycle spaces may be located on the same legal parcel with the use or structure they are intended to serve. For any property in the V5 Zone, the parking requirement may and should preferably be met through participation in a shared parking lot. Parking requirements may be fulfilled on-site or on any other property within 600 feet of the site requiring the parking. Evidence must be provided to the County that parking lot ownership shares have not been previously used or counted to meet the parking requirements for any other existing business. The parking spaces shall be tied to the property receiving the permit using a method acceptable to the Director of Planning and Land Use.

d. Location of Parking on a Building Site

1. Bicycle Spaces. Bicycle spaces, if provided, shall be located:

- a) At least as close and accessible to the use or building served as is the most convenient motor vehicle parking (other than handicapped parking).
- b) As close to the building entrances as is practical without interfering with pedestrian traffic.
- c) At ground level.

2. Covered Parking. Covered or enclosed parking spaces shall be outside the ultimate right-of-way of any street and shall be located in the rear half of the lot. This provision does not apply to any shared parking lot provided pursuant to Section 8530.c above that does not have a building on the same legal parcel.

3. Open Parking. Open parking spaces shall be outside the ultimate right-of-way of any street and shall be located generally behind a building. This provision does not apply to any shared parking lot provided pursuant to Section 8530.c above that does not have a building on the same legal parcel.

4. Exceptions. A Use Permit, Variance, or Administrative Permit may specify the location of parking areas and bicycle spaces in locations other than as required by Section 8530.d. 1 – 3 above.

e. Parking Space Dimensions

1. The minimum dimensions for parking spaces shall be as specified in Section 6792 of the Zoning Ordinance. The Director may require larger dimensions if he determines that larger dimensions are needed to provide safe and adequate parking in specific situations.

2. Accessible Parking. At least one space of the required parking, if any, in any parking area shall be designed for accessible parking as specified in the Parking Design Manual and the California Building Code. Such spaces shall be located as close as possible to the entrance of the use or structure, and shall be reserved and designated for accessible persons. The total number of required accessible spaces shall be that specified by the California Code of Regulations (Title 24) of the California Building Code.

f. Design Standards for Off-street Parking

Parking spaces and areas shall meet the following design and improvement standards:

1. Surfacing. All parking spaces or areas, loading spaces and driveways serving them shall be hard surfaced in accordance with the specifications set forth in the Parking Design Manual. The type of surfacing for proposed parking spaces and driveways shall be indicated on all plot plans that accompany Site Plan applications and building construction plans.
2. Landscaping. An area at least equal to 5 percent of the area of any parking area shall be landscaped in conformance to the requirements of Paragraph 3) of this Section and Section 6712.
3. Parking Design. The design, dimensions, construction, landscaping, and surfacing of parking and bicycle spaces, driveways and other areas shall conform to the requirements of the Section 6792 of the Zoning Ordinance. The Director may administratively waive or modify one or more such requirements when practical difficulties make their strict application infeasible, and upon a finding that the waiver or modification is consistent with the purpose and intent of this section.

Section 44. Effective Date. This Ordinance shall take effect and be in force thirty (30) days after the date of its passage, and before the expiration of fifteen (15) days after its passage, a summary shall be published once with the names of the members voting for and against the same in the Daily Commerce, a newspaper of general circulation published in the County of San Diego.